

# **Cypress Creek – Phase VI**

## **Architectural Guidelines**

**{LOGO}**

**Prepared By**  
**Land Planning Solutions**  
**5857 Harbour View Boulevard**  
**Suite 202**  
**Suffolk, VA 23435**

**March 10, 2017**  
**Town of Smithfield**  
**Virginia**

I. **ARCHITECTURAL STANDARDS AND REVIEW:** All construction and development within **Cypress Creek Phase VI**, shall be governed by strict adherence to these Architectural Standards to insure consistency and compatibility of materials, elevations, architectural style, yard improvements and overall appearance. All construction documents will be reviewed by the Architectural Review Committee (the "ARC") appointed by Cypress Investment Holdings, LLC, or its assigns (the "Developer") for consistency with these Architectural Standards and detailed architectural regulations. Architectural review shall be performed to assure compliance with the Architectural Standards and detailed architectural regulations of **Cypress Creek Phase VI**, generally as follows:

A. **THE ARCHITECTURAL STANDARDS:**

1. **Purpose:** The builder/owner agrees to the following architectural standards. The purposes and the general objectives of the Architectural Standards of **Cypress Creek Phase VI** are as follows:

The primary purpose of the Architectural Standards is to promote the development of appealing architectural designs in **Cypress Creek Phase VI**. These Architectural Standards will ensure that the development of structures in **Cypress Creek Phase VI**; are unobtrusive in form, location, and color and complement their natural setting and the surrounding community of Cypress Creek.

The Architectural Standards and detailed architectural regulations will assure that individual homes in the residential land use areas complement each other. Each building shall be treated not as an individual architectural entity, but as a carefully planned addition to the natural setting in which it is placed. Consequently, architectural enhancements and solutions may vary according to immediate surroundings.

2. **Architectural Review Committee:** The Architectural Review Committee (the "ARC") shall consist of three (3) persons and shall include a member of the Cypress Creek Home Owners Association and two others appointed by the Developer until 100% of the developable lots within **Cypress Creek Phase VI** have been developed and conveyed to owners other than the Developer, or any builder. Anything falling under the authority of the Architectural Review Committee herein shall be deemed to fall under the authority of the Developer until such time as the Developer assigns such functions to the ARC. After the initial construction and occupancy of the home, all subsequent improvements to the exterior of the home or lot shall be governed by an architectural review committee established by the Cypress Creek HOA Board (the "HOA Review Board").

3. **Architectural Review Required.** Before commencing the construction, erection, or installation of any building, walk, fence, swimming pool, deck, animal pen, or shelter,

exterior lighting, sign, mailbox or mailbox support or other structure, land disturbance, landscaping or paving (“Improvement”) on any Lot, including site work in preparation therefore, and before commencing any alteration, enlargement, demolition or removal of an Improvement or any portion thereof in a manner that alters the exterior appearance of the Improvement or the Lot on which it is situated, each Owner shall submit to the ARC, or the HOA Review Board as the case may be, a completed application on the form provided by the ARC. No Improvement shall be constructed, erected, installed, or maintained on any Lot, nor shall any Improvement be altered, enlarged, demolished, or removed in a manner that alters the exterior appearance of the Improvement or of the Lot on which it is situated, unless the proposed construction has been approved by the ARC, or the HOA Review Board as the case may be.

4. Detailed Architectural Regulations: The ARC shall review such plans for consistency with the Architectural Standards. The ARC shall promulgate additional regulations (“Detailed Architectural Regulations”) for application by the ARC as reasonably necessary to ensure conformance with the standards which appear following this paragraph. Prior to the recordation of any subdivision plat, these Detailed Architectural Regulations shall be reviewed and approved by the Developer, or designee to ensure consistency with these criteria.

a. Construction Standards:

1. These regulations will address construction standards, structure location and site landscaping for individual lots.
2. The construction standards shall encourage a blend of exterior materials; however, in no event shall a home have a masonry façade on the front and non-masonry façade on the sides and rear. Each exterior face of the home shall receive the same architectural treatment, including but not limited to exterior materials.
3. Standing metal seam roofs on porches, pidgeon walks, etc. will be encouraged where appropriate.
4. Piers and gazebos shall be permitted, with appropriate regulatory approvals, on Manor Homes only.

b. Square Footage:

1. “Cottage Homes” – All Cottage Homes shall have a minimum square footage of heated living space of 1,500 square feet on the first floor, and a minimum on both the first and second floor of 2,000 square feet. Total square footage of living area will be calculated on floor space, measured to the exterior walls, excluding decks, porches, unheated storage areas, and unfinished rooms over the garage. Cottage Homes shall have the primary living

functions, including but not limited to the master bed room, located on the first floor of the home.

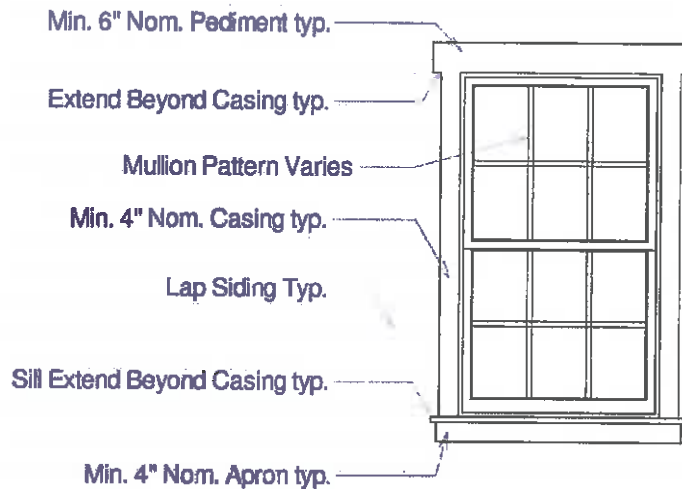
2. "Manor Homes" – All Manor Homes may be one or two stories and shall have a minimum square footage of heated living space of 2,500 square feet. Total square footage of living area will be calculated on floor space, measured to the exterior walls, excluding decks, porches, unheated storage areas, and unfinished rooms over the garage.

c. Floor Elevations:

1. No occupied floor elevation, and no internal mechanical system or equipment, shall be less than 8 feet above project datum, which shall be the North American Vertical Datum of 1988 (NAVD '88). No garage floor shall be placed less than 7.5 feet above project datum.
2. Interior ceiling heights shall be no less than 9' on main floors.

- d. Exterior: Architectural motif and exterior elevations are to be aesthetically pleasing in appearance and generally compatible in terms of the overall structure and its relationship to other structures based on location, size and quality within the development. The selection of materials shall be harmonious with the architectural motif of each dwelling unit and community as a whole. Exterior walls with the same color scheme as adjacent or nearby homes will be permitted on a frequency of only every fourth dwelling unit. Preferred exterior finish materials are fiber-cement siding (also known as Hardie Plank), brick, stone, stucco (heavy textures are discouraged and Exterior Insulated Façade Systems, or EIFS will not be allowed), wood, and machine cut cedar shake shingles, or equivalent. There shall be no vinyl siding permitted. Exterior color selections should be consistent with the overall architectural theme of the community. Coastal or pastel color palettes will be discouraged. There shall be a minimum 4" width corner board, window trim and door trim. Windows must either be vinyl or wood clad type, aluminum or metal windows shall not be permitted.

### Simple Window Detail



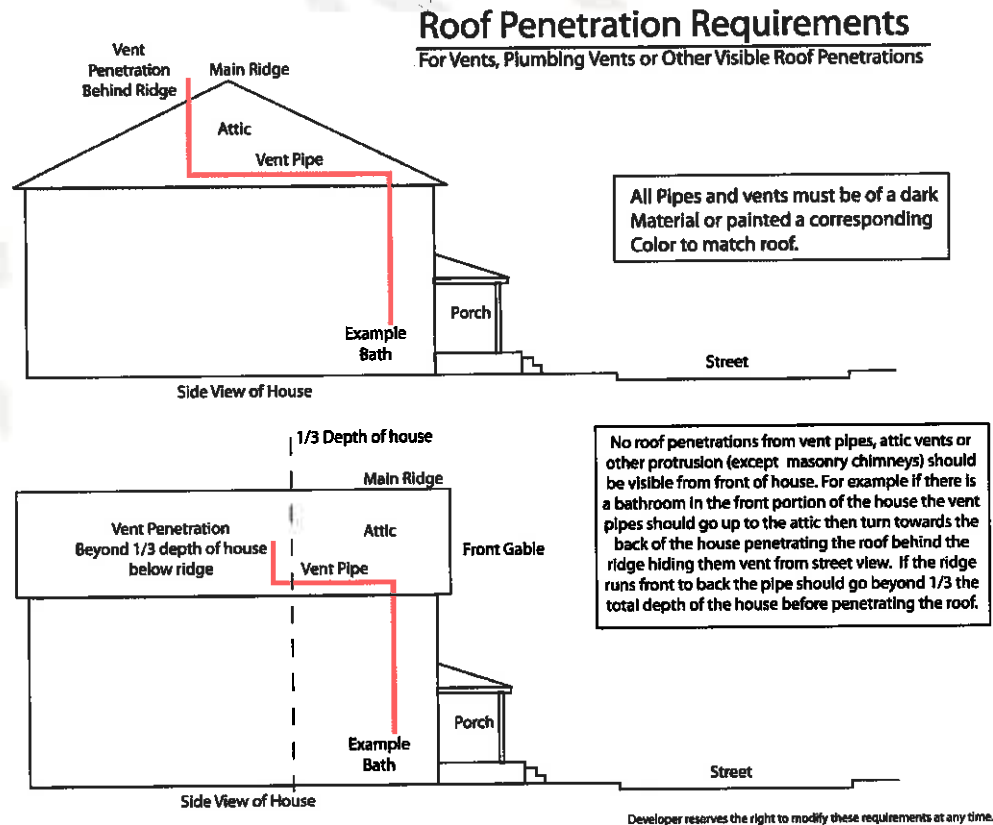
Chimney elements, if present, shall be from grade with same skirt treatment as house. Direct vent chimney boxes are permitted provided that the vent is painted black and the box is constructed using the same materials and design as the primary structure. Porches shall be a minimum of 6' deep, front to back and may be screened. The architectural treatments, i.e. railings, columns, posts, etc. shall be consistent on both the front and rear porches. There shall be a 6" minimum column width with appropriate base and capitol detailing. All exposed joists or rafters shall be painted or stained and all decking for porches and steps should be Trex, or equivalent, or other sustainable wood product. Exposed, pressure treated decks and steps shall not be permitted.

All walkways from steps to public right of ways shall be a minimum of 3' in width and shall be either exposed concrete aggregate or brick pavers, or a combination of both. Roofing materials shall be darker in color than the exterior wall colors. Roof lines shall be varied in nature and overhangs shall be in balance with both the size of the roof and volume of the structure. There shall be a minimum overhang of 12". Exterior materials shall reflect harmony with both the environment and other structures in the neighborhood. Elevation quality, character, material and content should be continued on all sides. Composition sheet siding, unfinished wood, exposed concrete or cinder block are unacceptable exterior materials.

- e. **Roofing:** Roof appearance is critical to the overall appearance of a home. The pitch of the main structure's roof shall be no less than six (6) feet in twelve (12) feet. Pitches for porches, breezeways and other secondary structures could be less. Roof materials may be of any type that is consistent with the architecture of the home.

Any architectural grade product with weight of 250 pounds per "square" (100 square feet) or greater will be acceptable, with a minimum 25 year warranty. A sample of composition shingles must be submitted with the plan application for approval by the Architectural Review Committee. Standing seam, pre-finished metal roofs, painted galvanized metal roofs, composite slate and composite cedar roofs may be approved by the Architectural Review Committee.

- f. **Exterior Appurtenances:** Exposed roof vent stacks shall be located for minimum visibility, which generally means located on the rear portion of the roof behind the main roof ridge as outlined below. All roof vents shall be either painted black or another color matching the roof. The chimneys, if present, shall match the character of the house. Solid or veneer brick or stone masonry construction is acceptable.



No antenna or other device for the transmission or reception of television or radio

signals or any other form of electromagnetic radiation shall be erected, used or maintained outdoors on any property within **Cypress Creek Phase VI**, whether attached to a building or structure or otherwise with exception of one meter diameter or smaller satellite dish, the placement of which will require Board approval.

- g. Railings and Foundations: All houses shall be built on a crawl space or raised slab. Railing designs will be considered according to safety and coordination with overall design. Detailed drawings for decks, railings, and porches must be submitted with plans.
- h. Accessory Buildings and Structures: Detached garages or any accessory building or structure (including mailbox) must be compatible with the style, materials and color of the primary structure. Detached garages must adhere to the building setbacks defined for the main building.
- i. Driveways: Driveways shall be planned to cover a minimum area of the lot. All driveways must be exposed concrete aggregate. Each home shall have at least two (2) off-street parking spaces.
- j. Landscaping: The site shall remain as natural as possible with a minimum area cleared of trees for the proposed structure(s) and driveway. Outside of the construction area, any trees shall remain undisturbed, unless the homeowner or builder plans to extensively landscape the entire lot. In such cases, detailed landscaping plans shall be submitted with the building plans at the time of architectural review. If clearing is approved, stabilization of disturbed areas must be completed within 30 days of issuance of a building permit. Prior to stabilization of disturbed areas, the homeowner or builder shall be responsible for minimizing erosion or sedimentation caused by the land-disturbing activity, in accordance with the City Code. In areas designated as "Wetlands" absolutely no filling or other regulated land-disturbing activity will be allowed without a permit from the U.S. Army Corps of Engineers, the Virginia Department of Environmental Quality and other regulatory agencies having jurisdiction.

Landscaping requirements at **Cypress Creek Phase VI** require continuous foundation planting on any side of the dwelling that faces a street. This planting may be broken only by walks and driveways. Further, it is required that the foundation planting make a "return" on the side perpendicular to any street for a distance not less than six (6) feet. All beds must be mulched with an approved material. Sod is required in all yards on Cottage Homes and up to the rear corners of the home on Manor Homes. Utilities, HVAC units, and trash receptacles shall be screened from view with appropriately sized evergreen plantings or approved fencing.

Canopy cover will be provided on each lot as required by the Smithfield Zoning Ordinance.

- k. **Lighting:** No exterior lighting shall encroach across property lines to the detriment of the surrounding property owner. The installation and display of holiday lighting will be further regulated by rules and regulations promulgated by the Cypress Creek HOA.
- l. **Fencing:** No fence higher than four feet will be allowed unless an exception is granted by the Architectural Review Committee. No chain-link or opaque fencing is allowed. Written permission from the Architectural Review Committee for any fence is required. All other requirements in the Town of Smithfield Zoning Ordinance shall apply. Privacy panels shall be allowed on the Cottage Homes with Architectural Review Committee approval.



- m. **Signage:** All traffic and other site signage will be ornamental and complimentary to the existing community. No exterior neon signs will be permitted. No exterior back lit signs will be permitted. Exterior building and pylon signage shall be lit by flood lights. Exterior building and pylon signage may be within public right of ways so long as such signage does not impair access. Notwithstanding the foregoing, no pylon signage shall be within 5 feet of any public street. Blade signs will be allowed. Each lot shall be allowed to install one (1) "For Sale" provided that the sign shall contain only one (1) "blade". All other signage restrictions outlined in the Cypress Creek Rules and Regulations and the Town of Smithfield Zoning Ordinance shall apply.



- n. **Garages:** Garages shall be side or rear loaded & be a minimum of a two car garage. Exceptions can be submitted to the Architectural Review Committee for review. Detached garages or third bays may be front facing. All garage doors shall have windows and ornamental hardware.
- o. **Recreation Equipment:** No recreational equipment, such as basketball goals, swings, trampolines and playground equipment will be permitted to be placed forward of the two rear comers of the main structure, or within twenty-five (25) feet of the back lot line of the property.
- p. **Swimming Pools, Hot Tubs & Spas:** Above-ground pools are prohibited. An in-ground pool, hot tub and/or spa requires approval by the ARC, or the HOA Review Board as the case may be, and additional screening may be required.
- q. **Mailboxes:** Mailboxes must be the “Whitehall Custom Mailbox and Post Package” in color green – Item no. WHMCUSTOM on [www.mailboxworks.com](http://www.mailboxworks.com) or equivalent as approved by the ARC. Mailboxes must be installed in accordance with the guidelines established by the United States Postal Service, Town of Smithfield branch.

**Architectural Review Procedures:** Within 60 days after its establishment, the ARC shall meet and promulgate procedures and standards for the submission, review, and approval of applications including, but not limited to (1) time constraints and fees for plan submittal, (2) the format and content of plans to be reviewed, included but not limited to the requirement for site maintenance bonds, (3) timing of reviews, and (4) information on how to communicate with the ARC, telephone, fax, e-mail).

ADOPTED by the Council of the Town of Smithfield, Virginia, the \_\_\_\_\_ day of \_\_\_\_\_, 2017

APPROVED:

\_\_\_\_\_

ATTEST:

\_\_\_\_\_

